



kev_scout@hotmail.com

Printed: Sunday, October 23, 2005 2:03 AM

From : Kevin Carroll <kev_scout@hotmail.com>
Sent : Sunday, October 23, 2005 2:03 AM
To : kev_scout@hotmail.com
Subject : Permit Application

Please see attached permit application. This email contains the following PDF attachments...

1. Permit Application Form
2. Drawing 1 - Residence before proposed work
3. Drawing 2 - Patio roof dimensions and location
4. Drawing 3a - Side view without dimensions
5. Drawing 3b - Side view with dimensions
6. Drawing 4 - Post, beam, and rafter details
7. Suntuf Panels roofing material overview

Please let me know if you require any additional information. Thanks. Also, please let me know at what points you will need to inspect the work (for example, after the post holes are dug, but before concrete is poured?).

Regards,

Kevin Carroll
658 Cloverdale Ave

Plan Number

APPLICATION FOR PERMITS

APPLICANT - Complete all applicable spaces on this form



Street and number location Zip Code

Table with 7 columns: IDENTIFICATION, NAME, STREET ADDRESS, CITY, STATE, ZIP CODE, PHONE NO. Rows include OWNER, CONTRACTOR, MECH. CONTR., and DESIGNER.

Type of Improvement (Check all improvements being applied for)

- BUILDING: New Building, Addition, Alterations, Demolition
REPAIR: Roofing (indicate materials), Tear Off, Overlay, All, Partial, Other Repair
APPURTENANCE: Deck, Shed, Swimming Pool, Sign, Antenna, Awning, Tent, Fence, Other
MECHANICAL: New System, Alterations, Replacement Unit Size, Kitchen Exhaust, Other
FIRE PROTECTION: Sprinkler, Standpipe, UG Fireline, Fire Alarm, Hood Suppression, Other, Gas Piping
PUBLIC WORKS: Driveway, Street Opening
CINTI. WATER WORKS: Water Availability, Water Tap
MSD: Sewer Availability, Sewer Tap
IBI: Electric
HAM CTY- PLUMBING: Plumbing

s.f.

Gross area -new or altered

Describe proposed work

Estimated Cost (all labor and materials excl. HVAC) \$
HVAC Estimated Cost (all labor and materials) \$
Constr. Type Use Group

The owner of this building and undersigned, do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to buildings and site development, and to construct the proposed improvement with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct.

Application by Address

Owner or Agent's Signature

O VISA O Mastercard

Expiration Date:

Credit Card Number

Credit card number grid

Name as it appears on the card

Charge fees on my credit card: Signature

Permit Fee \$ BBS \$ HVAC Permit Fee \$ HVAC BBS \$

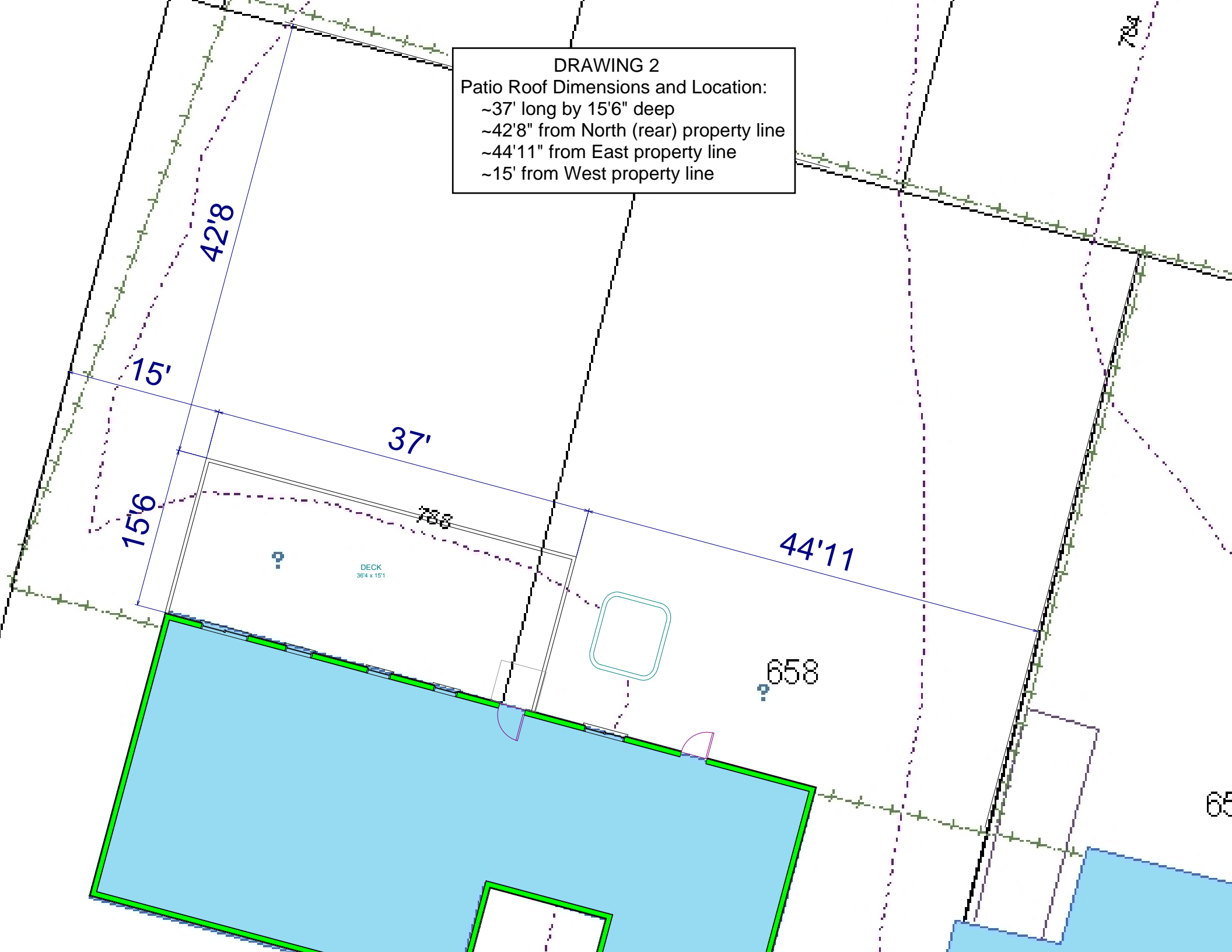
CO \$ COBBS \$ TOTAL FEE \$

DO NOT WRITE BELOW THIS LINE

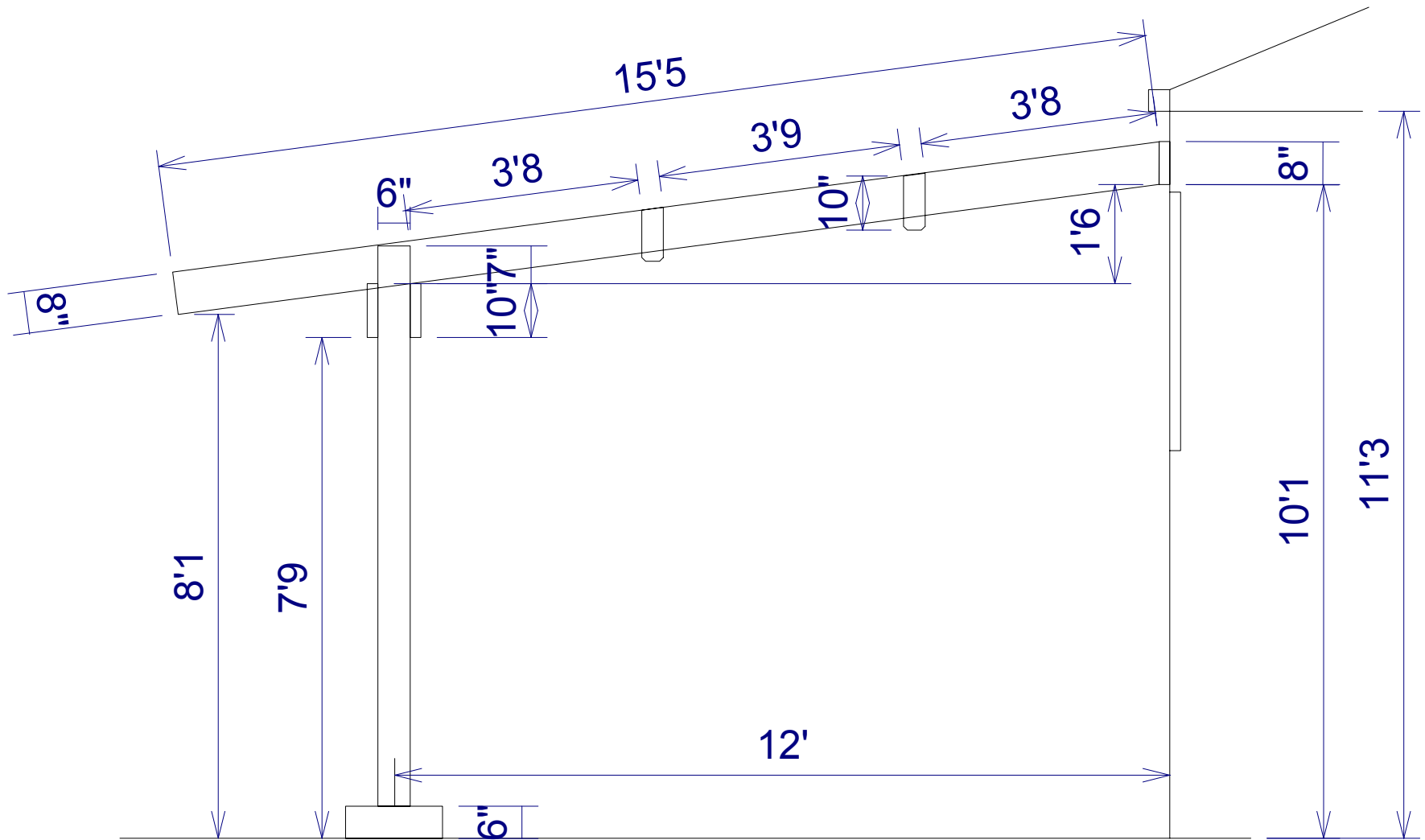
Area Volume Zoning Approval

Approval Signature Date Date Iss. Number

DRAWING 2
Patio Roof Dimensions and Location:
~37' long by 15'6" deep
~42'8" from North (rear) property line
~44'11" from East property line
~15' from West property line

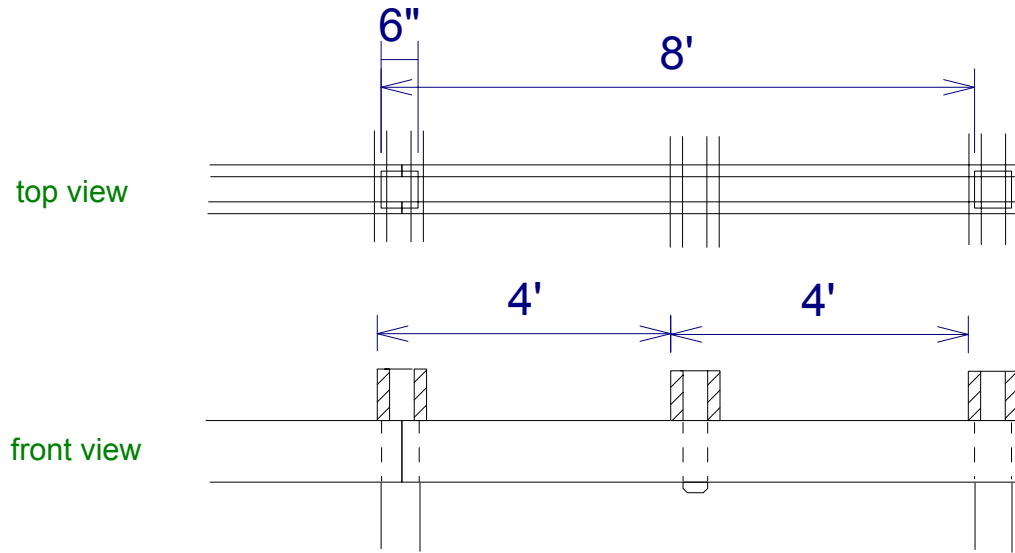


DRAWING 3b
Side View with Dimensions

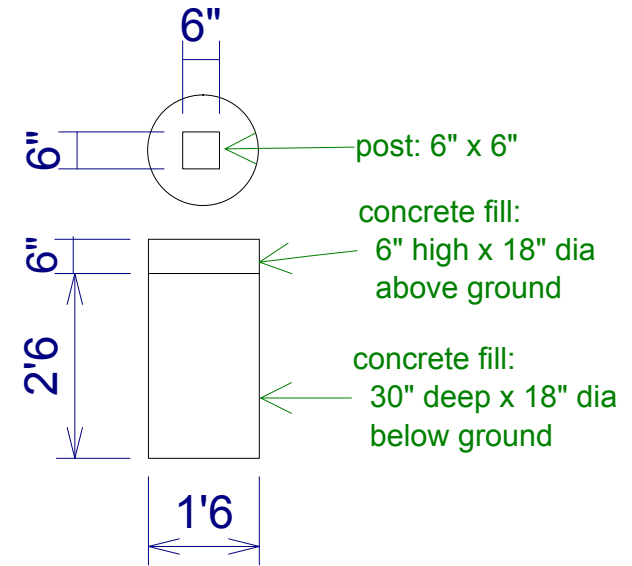


DRAWING 4
Post and Beam Details

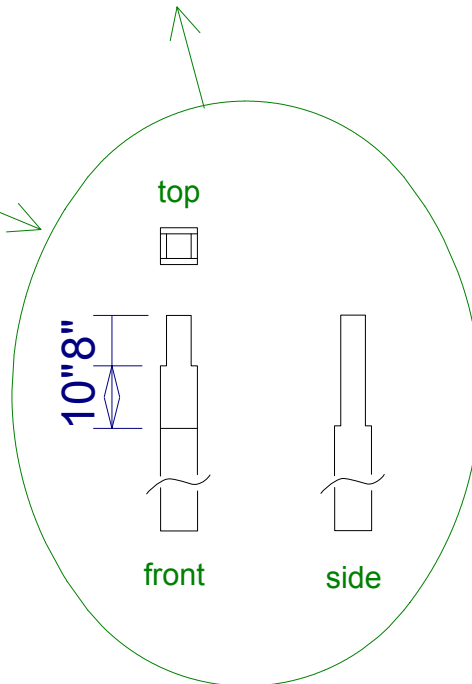
Beam Detail



Post & Hole Detail



Add'l detail of
6x6 posts





kev_scout@hotmail.com

Printed: Sunday, October 23, 2005 2:01 AM

From : Kevin Carroll <kev_scout@hotmail.com>
Sent : Sunday, October 23, 2005 2:01 AM
To : building@springdale.org
CC : kev_scout@hotmail.com
Subject : Permit Application Supplemental Info

Attachment: [PatioRoofPermitApplication-Drawing2.pdf \(0.14 MB\)](#), [PatioRoofPermitApplication-Drawing3b-SidewDims.pdf \(0.02 MB\)](#), [PatioRoofPermitApplication-Drawing5-FloorPlan.pdf \(0.05 MB\)](#), [PatioRoofPermitApplication-Drawing6-LedgerPostBeamDetails.pdf \(0.03 MB\)](#), [PatioRoofPermitApplication-Drawing7-SuntufPanelDetails.pdf \(0.03 MB\)](#), [PatioRoofPermitApplication-RoofingMaterialInfo3b.pdf \(0.11 MB\)](#)

Attention Richard Lohbeck:

Thanks for your review of my permit application. I hope it is okay to email the files versus sending hard copies. I am including PDF attachments again addressing your revision/supplemental information requests...

1. "Submit site plan showing distance to property lines."

This was attached previously as "Drawing 2". I have edited the document with some corrections/clarifications. First, I corrected the misspelling of "North". Second, I added red lines to clarify the beginning and end of the dimension lines. Finally, I changed the color of the dimension text to make it more obvious. Please let me know if it was missing any details.

2. "Submit floor plan showing posts with dimensions."

All posts are 6" x 6" and are 12' from the house on 8' or 10' spacing. The only 4x4s used are the 12" spacers. Both can be seen in "Drawing 3". I have included an additional drawing showing the detailed "floor plan". It is attached as "Drawing 5".

3. "Submit detail showing connection to house."

The top panel of siding under the gutter will be removed. A 2" x 8" ledger/ridge board will be attached in its place using lag bolts. Suntuf Wall Connectors will be used for head flashing at the wall (see "Roofing Material Info 3b"). I have also attached a new drawing from the front showing the ledger/rafter details ("Drawing 6").

4. "Indicate purlin size and spacing per manufacturer's specs."

The mfr's installation instructions show 5/4" x 3" purlins at 36" o.c., but I plan to use alternating 2" x 2" treated furring strips and 2" x 4" upright treated boards at 24" o.c. This will provide additional strength across the double 2x8 rafters, which are 48" o.c. vs the 24" o.c. shown in the mfr's installation instructions. I have created and attached an additional drawing to show this detail. It is "Drawing 7".

Attachment Summary

1. Drawing 2 - Patio roof dimensions and location (revised)
2. Drawing 3b - Side view with dimensions (revised)
3. Drawing 5 - "Floor Plan" (new)
4. Drawing 6 - Ledger, Post, and beam details (new)
5. Drawing 7 - Roofing panel installation details (new)
6. Roofing Material 3b - Suntuf Panels head flashing detail (new)

Please let me know if you require any additional information. Thanks again.

Regards,

Kevin Carroll
658 Cloverdale Ave

City of Springdale

Building Department

DOYLE H. WEBSTER
Mayor

WILLIAM McERLANE
Building Official

CECIL W. OSBORN
City Administrator

October 21, 2005

Mr. Kevin Carroli
658 Cloverdale Avenue
Springdale OH 45246


Re: Permit Application – 658 Cloverdale Avenue, Springdale OH
Request for Revisions

Dear Mr. Carroll:

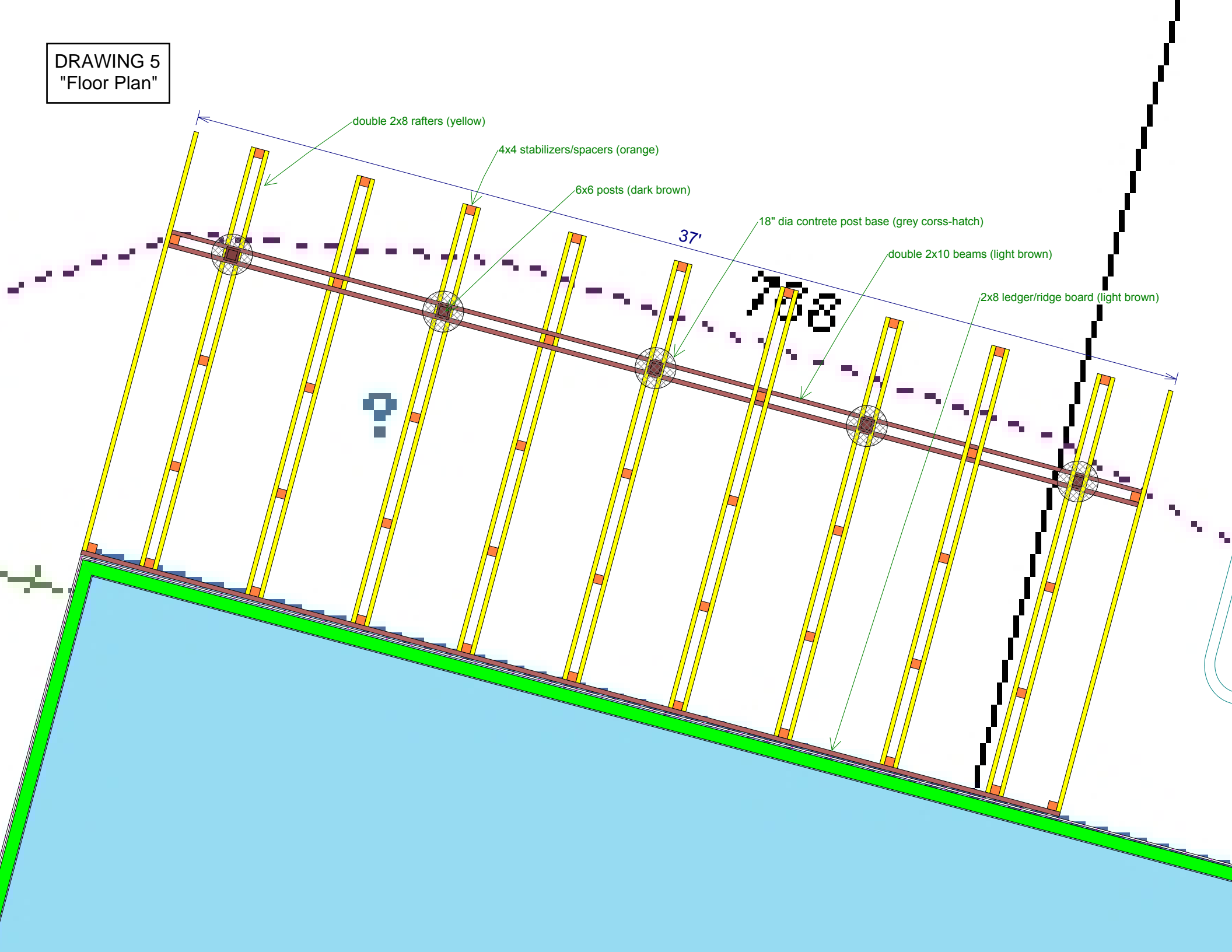
Your application for permit is being withheld pending receipt of the following revisions:

1. Submit site plan showing distance to property lines.
2. Submit floor plan showing posts with dimensions.
3. Submit detail showing connection to house.
4. Indicate purlin size and spacing per manufacturer's specs. (See enclosed sheet).

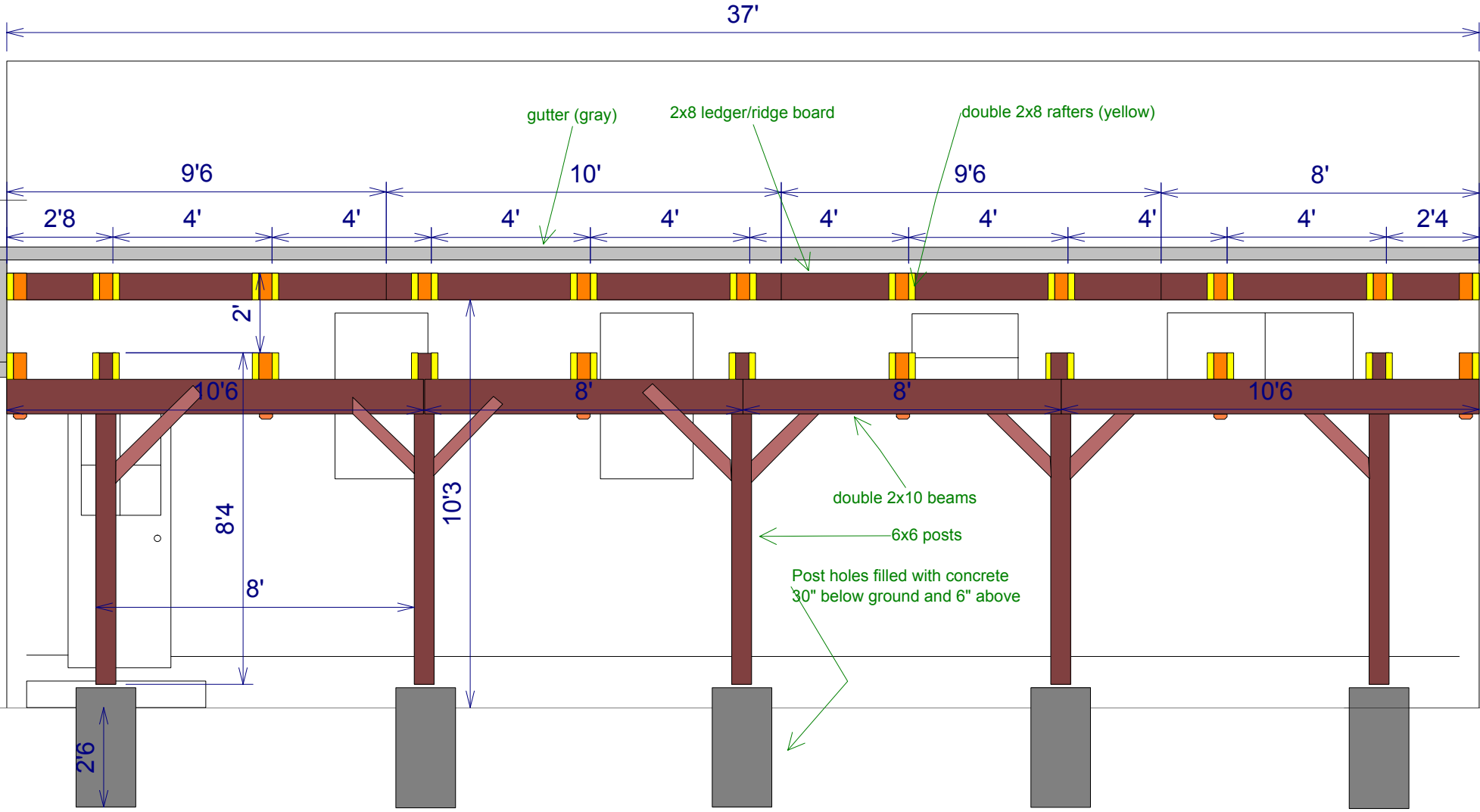
Upon receipt of three copies of revised drawings we will continue processing your application.
If you have any questions please don't hesitate to call.

Sincerely,

Richard G. Lohbeck
Inspections Supervisor

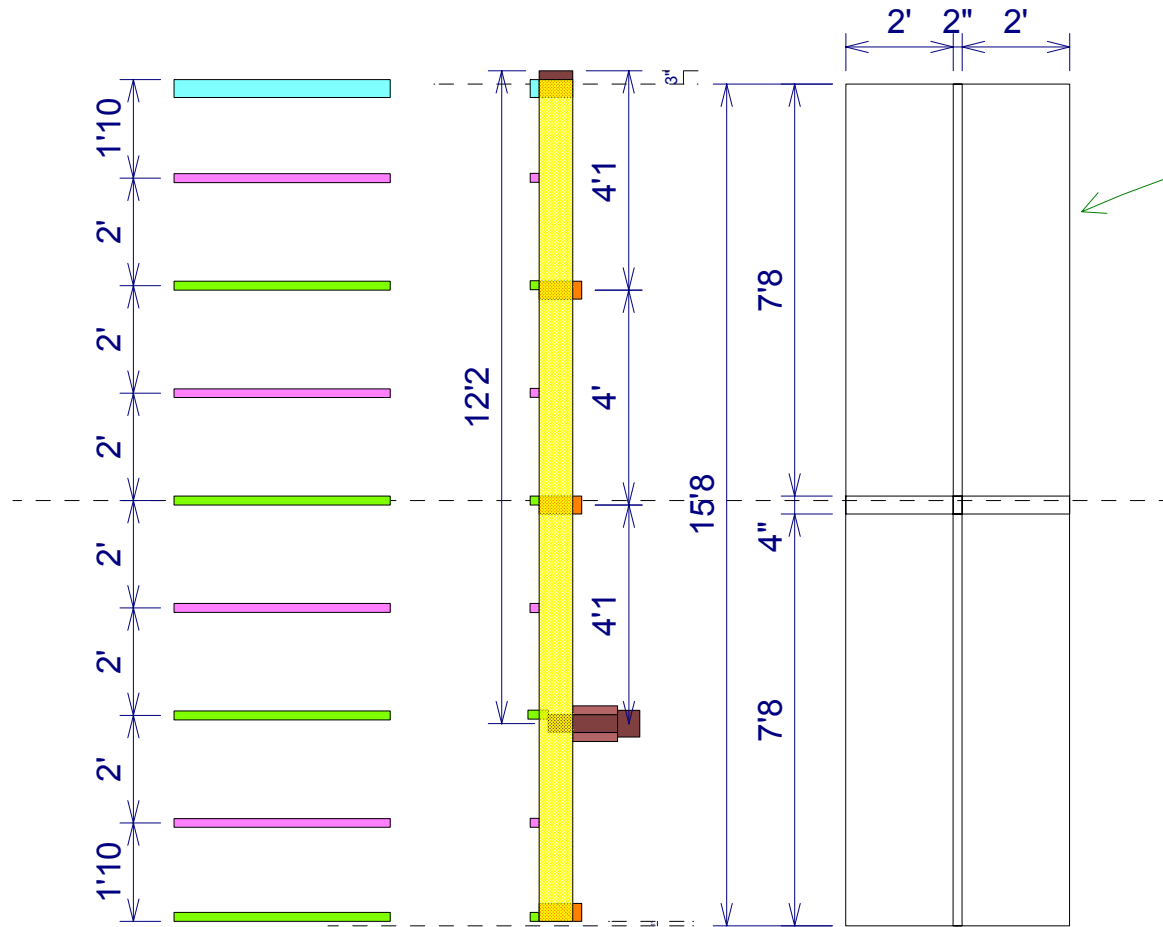
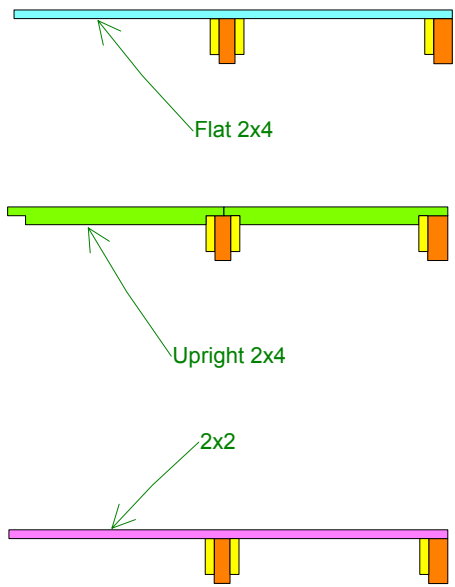
DRAWING 5
"Floor Plan"



DRAWING 6
Ledger, Post, and Beam Details



DRAWING 7
Suntuf Panel Installation Details

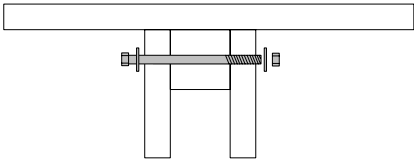


2' x 8' Suntuf panels
 2" horizontal overlap
 6" vertical overlap
 horizontal closure strips
 on each purlin
 vertical closure strips
 on outside rafters
 1" overhang

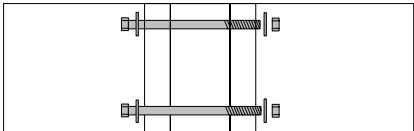
DRAWING 8
Spacer & Rafter to Ledger Details

Rafter to Spacer Detail (2x8 to 4x4)
using 1/2" x 8" machine bolts

Top

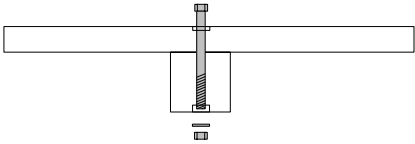


Front

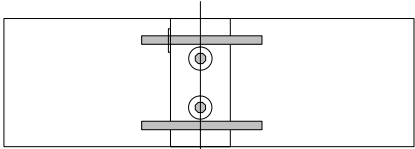


Spacer to Ledger Detail (2x8 to 4x4)
using 1/2" x 5" carriage bolts

Top



Back



Patio Roof - Bill of Materials.xls (Bill of Materials)

		Home Depot		Lowes	
	QTY	Unit Cost	Total Cost	Unit Cost	Total Cost
1 Ledger					
Ledger Boards: 2x8x8	1	\$9.39	\$9.39	\$9.39	\$9.39
Ledger Boards: 2x8x10	3	\$11.97	\$35.91	\$11.97	\$35.91
Spacer Boards: 4x4x10	7	\$11.97	\$83.79	\$11.97	\$83.79
<i>Subtotal</i>			\$129.09		\$129.09
1 Post Bases					
18" diameter tube (at least 5')	1		\$0.00		\$0.00
Concrete Mix: 80 lb bags	44	\$3.08	\$135.52	\$3.08	\$135.52
Fast Setting Concrete Mix: 60lb bags	0	\$3.08	\$0.00	\$3.08	\$0.00
Rebar: 1/2" x 2'	15	\$0.97	\$14.55		
Anchor Bolts: 5/8" x 6"	5	\$2.19	\$10.95	\$2.19	\$10.95
Nuts: 5/8"	5	\$0.25	\$1.25	\$0.25	\$1.25
Post Anchors: 6x6	5	\$13.97	\$69.85	\$15.97	\$79.85
<i>Subtotal</i>			\$232.12		\$227.57
2 Posts					
Posts: 6x6x8	0	\$20.97	\$0.00	\$20.97	\$0.00
Posts: 6x6x10	5	\$27.97	\$139.85		\$0.00
Posts: 6x6x12	0	\$0.00	\$0.00	\$33.97	\$169.85
16d HDG nails	40	\$0.06	\$2.55	\$0.06	\$2.55
<i>Subtotal</i>			\$142.40		\$172.40
2 Beams					
Beams: 2x10x8	4	\$11.97	\$47.88	\$11.97	\$47.88
Beams: 2x10x12	4	\$18.97	\$75.88	\$18.97	\$75.88
<i>Subtotal</i>			\$123.76		\$123.76
4 Rafters					
Rafters: 2x8x16	20	\$18.97	\$379.40	\$18.97	\$379.40
<i>Subtotal</i>			\$379.40		\$379.40
5 Rafter Spacers					
Spacer Boards (none: covered above)	0		\$0.00		\$0.00
<i>Subtotal</i>			\$0.00		\$0.00
6 Purlins and Hardware					
Purlins: 2x2x8	20	\$2.39	\$47.80	\$2.29	\$45.80
Purlins: 2x4x8	25	\$3.49	\$87.25	\$3.49	\$87.25
Purlins: 2x4x10	0	\$5.97	\$0.00	\$5.97	\$0.00
Decking Screws	0		\$0.00		\$0.00
<i>Subtotal</i>			\$135.05		\$133.05
7 Roofing					
Suntuf Panels: 26" x 8' (36)	36	\$16.97	\$610.92	\$15.94	\$573.84
Suntuf Panels: 49.6" x 16' (9)	9		\$0.00		\$0.00
Closure Strips, Vert., Wood: 24" (6pk)	4	\$4.98	\$19.92		
Closure Strips, Hor., Foam: 36"	108	\$1.40	\$150.98	\$1.08	\$117.07
Flashings, Wall Connector: 50"	9		\$0.00		\$0.00
Fasteners, Woodtite: 50 sq ft / box	12	\$5.19	\$62.28	\$5.19	\$62.28
<i>Subtotal</i>			\$844.10		\$753.19

Patio Roof - Bill of Materials.xls (Bill of Materials)

Hardware	Len	Qty	Bolts	Nuts	Washers	Cost
	3/8	6	8	92	184	\$14.64
	3/8	8	84			\$163.80
	1/2 C	5	22			\$52.80
	1/2	6	2	53	84	\$5.30
	1/2	8	29			\$86.71
	5/8	8	16	16	32	\$65.28
<i>Subtotal</i>			161	161	300	\$388.53

PROJECT GRAND TOTAL \$2,374.45 \$2,306.99

5/4 x 6 x 10' decking to fix gutter 4 \$6.97 \$27.88

Patio Roof - Bill of Materials.xls (Machine Bolts)

Where	Bolt Type	Countersink?	Length Comments	Dia	Len	Qty	Subtotal	
Ledger	Carriage	Head and Nut	1.5 + 3.5 = 5	1/2	5	22	\$52.80	
Beams	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	5/8	8	16	\$65.28	
Diagonal Type 1	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	1/2	8	8	\$23.92	
Diagonal Type 2	Machine	Head and Nut	1.5 + 5.25 = 6.75	1/2	6	2	\$5.30	
Diagonal Type 3	Machine	Head and Nut	1.5 + 5.25 + 1.5 = 8.25	1/2	8	3	\$8.97	
B/R Spacers	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	3/8	8	12	\$23.40	
Rafters Type 1	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	1/2	8	18	\$53.82	
Rafters Type 2	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	3/8	8	18	\$35.10	
Rafters Type 3	Machine	no	1.5 + 3.5 + 2/8 + 1/2 = 5.75	3/8	6	8	\$14.64	
Rafter Spacers 1	Machine	no	1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25	3/8	8	54	\$105.30	
						161	\$388.53	
				3/8	6	8	\$14.64	
				3/8	8	84	\$163.80	
				1/2 C	5	22	\$52.80	
				1/2	6	2	\$5.30	
				1/2	8	29	\$86.71	
				5/8	8	16	\$65.28	
						161	\$388.53	
				N	W	6" B	8" B	
				3/8	\$0.17	\$0.15	\$1.36	\$1.48
				1/2	\$0.28	\$0.25	\$1.87	\$2.21
				5/8	\$0.48	\$0.41		\$2.78
				1/2" Carriage	\$1.87	22	\$41.14	
					\$1.68	25	\$42.00	
				Washer	3/8	1/2	5/8	
				Outside Dimension		1 3/8	1 3/4	
				Thickness	1/8	1/8	1/8	

Patio Roof - Bill of Materials.xls (Machine Bolts)

Where	Description	rence (1=low, 5=high)
Ledger	Connect 2x8 Ledger to 4x4	3 bears weight of itself and shares load of roofing
Beams	Connect 2x10 to 6x6	4 shared weight of rafters + shared weight of roofing, but rests on 1" ledge of post
Diagonal Type 1	Connect 4x4 to Beams	2 a little support for squareness, esp in high winds
Diagonal Type 2	Connect one 4x4 to Post	2 a little support for squareness, esp in high winds
Diagonal Type 3	Connect two 4x4s to Post	2 a little support for squareness, esp in high winds
B/R Spacers	Connect 2x10 beam to 4x4 spacer	1 prevent liftoff of rafter and maintain spacing
Rafters Type 1	Connect 2x8 Rafter to 4x4 on ledger	3 bears weight of itself and shares load of roofing
Rafters Type 2	Connect Rafters to Post or B/R Spacer	1 prevent liftoff of rafter and maintain spacing
Rafters Type 3	Connect one Rafter to 4x4	1 prevent liftoff of rafter and maintain spacing
Rafter Spacers 1	Connect 4x4 between rafters	1 keeps rafters straight, may have objects hung from them

City of Springdale

11700 Springfield Pike
Springdale, Ohio 45246

BUILDING PERMIT

THIS PERMIT MUST
BE KEPT ON THE PREMISES

VOID UNLESS WORK
IS STARTED
WITHIN 6 MONTHS

OWNER **Kevin Carroll**
ADDRESS **658 Cloverdale Ave**
Springdale OH 45246-2144

Is Granted a Permit For **RESIDENTIAL** **REROOF** And To Be Used

To construct a 16' patio roof according to approved plans. 658 Cloverdale Avenue

LOT OR HOUSE NO. **0** **658** **Cloverdale Ave**
SPRINGDALE, OHIO
ZONED SECTION **0 P599-Pg** **52 PAR** **103**

ARCHITECT **None**
OR ENGINEER
CONTRACTOR **Owner**

Where electrical equipment or wiring is installed, an application for electrical inspection by the Inspection Bureau Inc. is required in compliance with the Building Code. Approval must be obtained before any wiring is concealed. Separate permits must be obtained for mechanical systems, fire protection systems, signs, elevator conveyor equipment, plumbing and street openings.

All work to be done in compliance with the ordinances pertaining to same and the plans or application, etc. as approved by the Building Department.

EST. COST OF WORK	PERMIT FEE	SQ. FT. GROSS.	APPVD	ISSUE
\$3,000.00	\$0.00	0	RGL	RGL
	BBS			

PERMIT
NUMBER

26439

DATE **11/7/2005**

Richard Lohrbach

PAID BY: **No Charge**

AUTHORIZING SIGNATURE BUILDING DEP

