



kev_scout@hotmail.com

Printed: Sunday, October 23, 2005 2:03 AM

From : Kevin Carroll <kev_scout@hotmail.com>
Sent : Sunday, October 23, 2005 2:03 AM
To : kev_scout@hotmail.com
Subject : Permit Application

Please see attached permit application. This email contains the following PDF attachments...

1. Permit Application Form
2. Drawing 1 - Residence before proposed work
3. Drawing 2 - Patio roof dimensions and location
4. Drawing 3a - Side view without dimensions
5. Drawing 3b - Side view with dimensions
6. Drawing 4 - Post, beam, and rafter details
7. Suntuf Panels roofing material overview

Please let me know if you require any additional information. Thanks. Also, please let me know at what points you will need to inspect the work (for example, after the post holes are dug, but before concrete is poured?).

Regards,

Kevin Carroll
658 Cloverdale Ave

SPRINGDALE BUILDING DEPARTMENT
11700 SPRINGFIELD PIKE **SPRINGDALE, OHIO 45246**
PHONE: 513-346-5730 **FAX: 513-346-5747**

Plan Number

APPLICATION FOR PERMITS

APPLICANT - Complete all applicable spaces on this form

Street and number location _____ **Zip Code** _____



IDENTIFICATION	NAME	STREET ADDRESS	CITY	STATE	ZIP CODE	PHONE NO.
OWNER						
CONTRACTOR						
MECH. CONTR.						
DESIGNER						

Type of Improvement (Check all improvements being applied for)

BUILDING <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Alterations <input type="checkbox"/> Demolition <div style="border: 1px solid black; padding: 2px; width: 100px; margin-top: 10px;">s.f.</div>	REPAIR <input type="checkbox"/> Roofing (indicate materials) _____ <input type="checkbox"/> Tear Off <input type="checkbox"/> Overlay <input type="checkbox"/> All <input type="checkbox"/> Partial <input type="checkbox"/> Other Repair Explain _____	APPURTENANCE <input type="checkbox"/> Deck <input type="checkbox"/> Shed <input type="checkbox"/> Swimming Pool <input type="checkbox"/> Sign <input type="checkbox"/> Antenna <input type="checkbox"/> Awning <input type="checkbox"/> Tent <input type="checkbox"/> Fence <input type="checkbox"/> Other _____	MECHANICAL <input type="checkbox"/> New System <input type="checkbox"/> Alterations <input type="checkbox"/> Replacement Unit Size _____ <input type="checkbox"/> Kitchen Exhaust <input type="checkbox"/> Other _____	FIRE PROTECTION <input type="checkbox"/> Sprinkler <input type="checkbox"/> Standpipe <input type="checkbox"/> UG Fireline <input type="checkbox"/> Fire Alarm <input type="checkbox"/> Hood Suppression <input type="checkbox"/> Other _____ <input type="checkbox"/> Gas Piping
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Gross area -new or altered

PUBLIC WORKS <input type="checkbox"/> Driveway <input type="checkbox"/> Street Opening	CINTI. WATER WORKS <input type="checkbox"/> Water Availability <input type="checkbox"/> Water Tap	MSD <input type="checkbox"/> Sewer Availability <input type="checkbox"/> Sewer Tap	IBI <input type="checkbox"/> Electric	HAM CTY- PLUMBING <input type="checkbox"/> Plumbing
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Describe proposed work _____

Estimated Cost (all labor and materials excl. HVAC) \$ _____ **Constr. Type** _____ **Use Group** _____
HVAC Estimated Cost (all labor and materials) \$ _____

The owner of this building and undersigned, do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to buildings and site development, and to construct the proposed improvement with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct.

Application by _____ **Address** _____

Owner or Agent's Signature

☐ VISA ☐ Mastercard

Expiration Date: _____

Credit Card
Number

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

Name as it appears on the card

Charge fees on my credit card: Signature _____

Permit Fee \$ _____ BBS \$ _____ HVAC Permit Fee \$ _____ HVAC BBS \$ _____

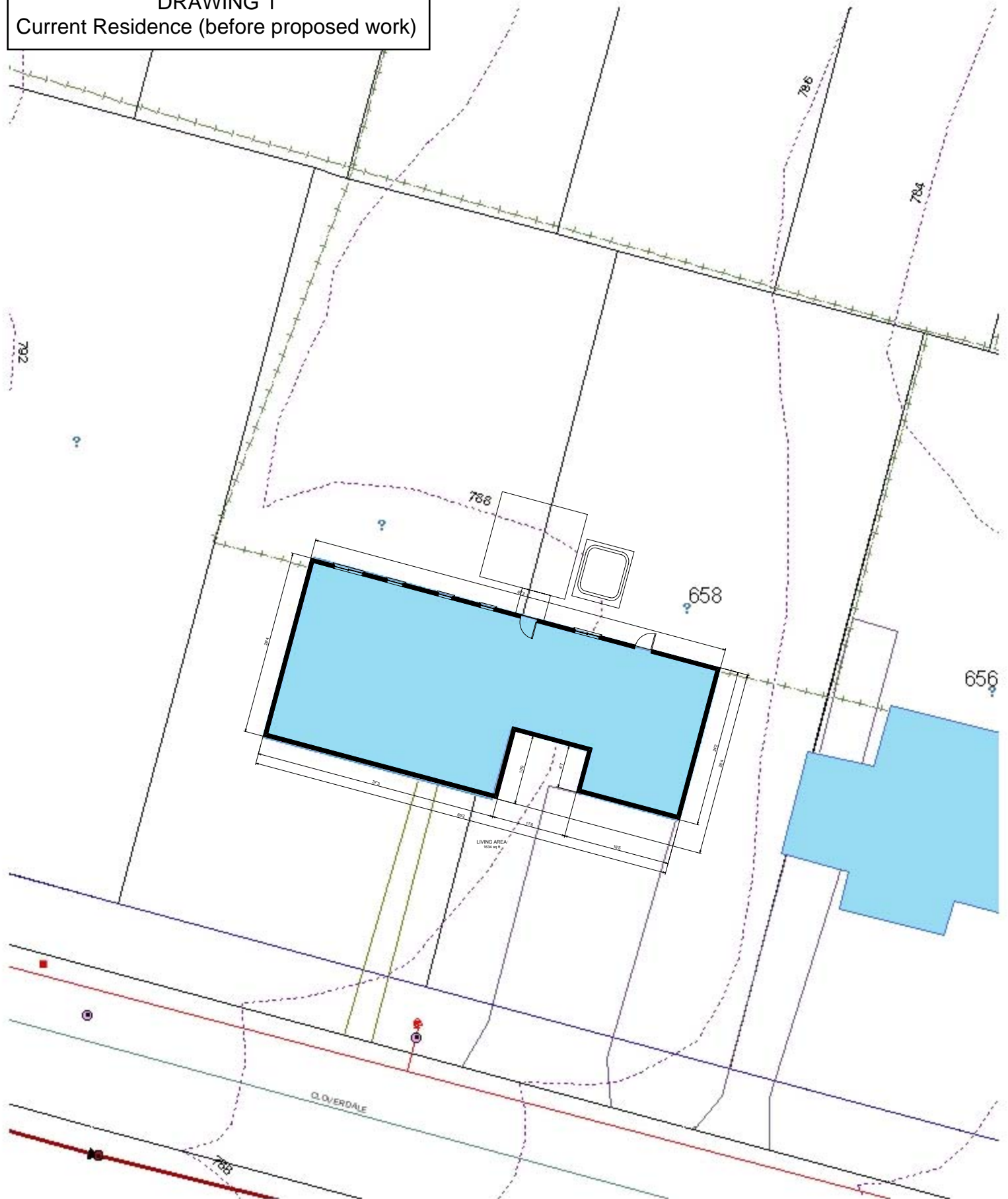
CO \$ _____ COBBS \$ _____ TOTAL FEE \$ _____

DO NOT WRITE BELOW THIS LINE

Area _____ Volume _____ Zoning Approval _____

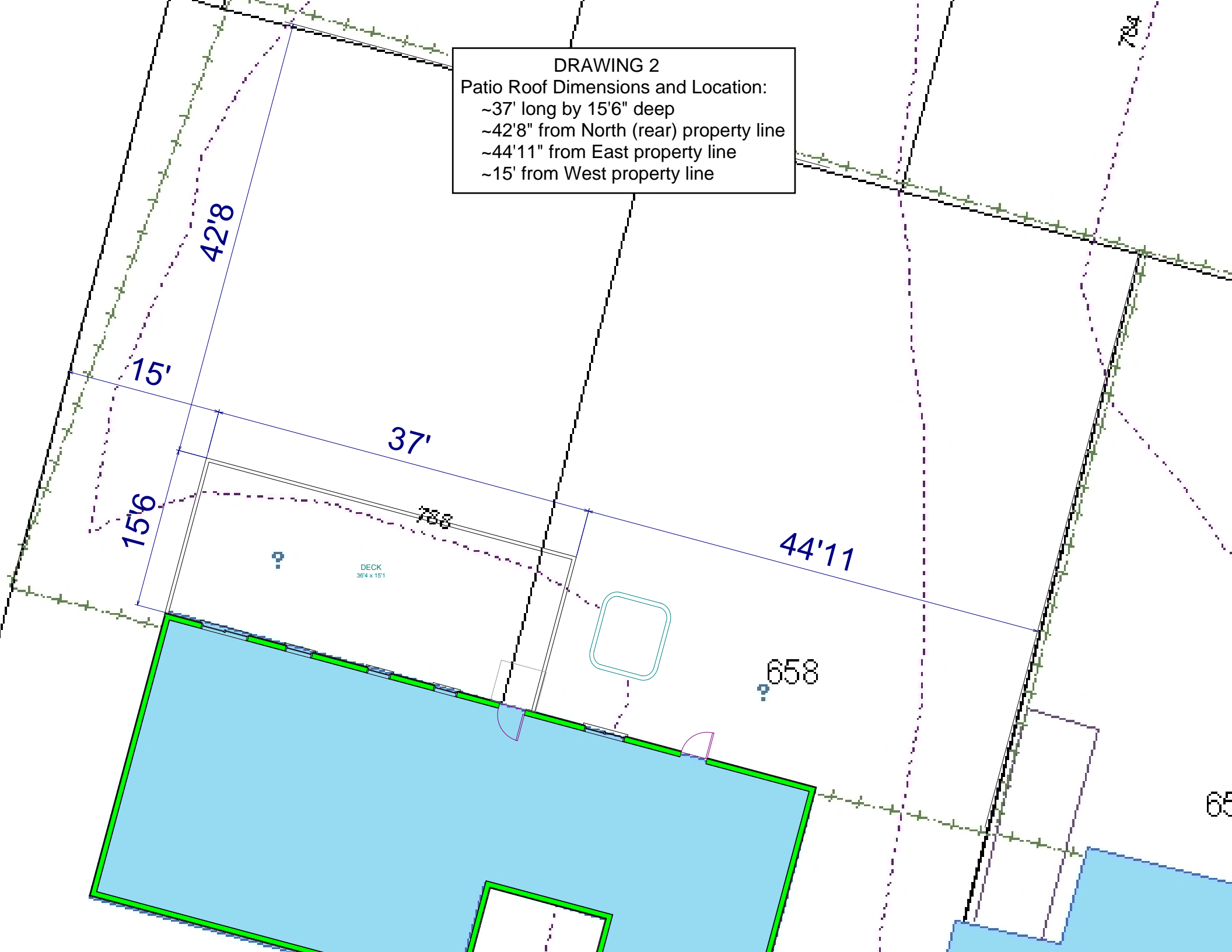
Approval Signature _____ Date _____ Date Iss. _____ Number _____

DRAWING 1
Current Residence (before proposed work)

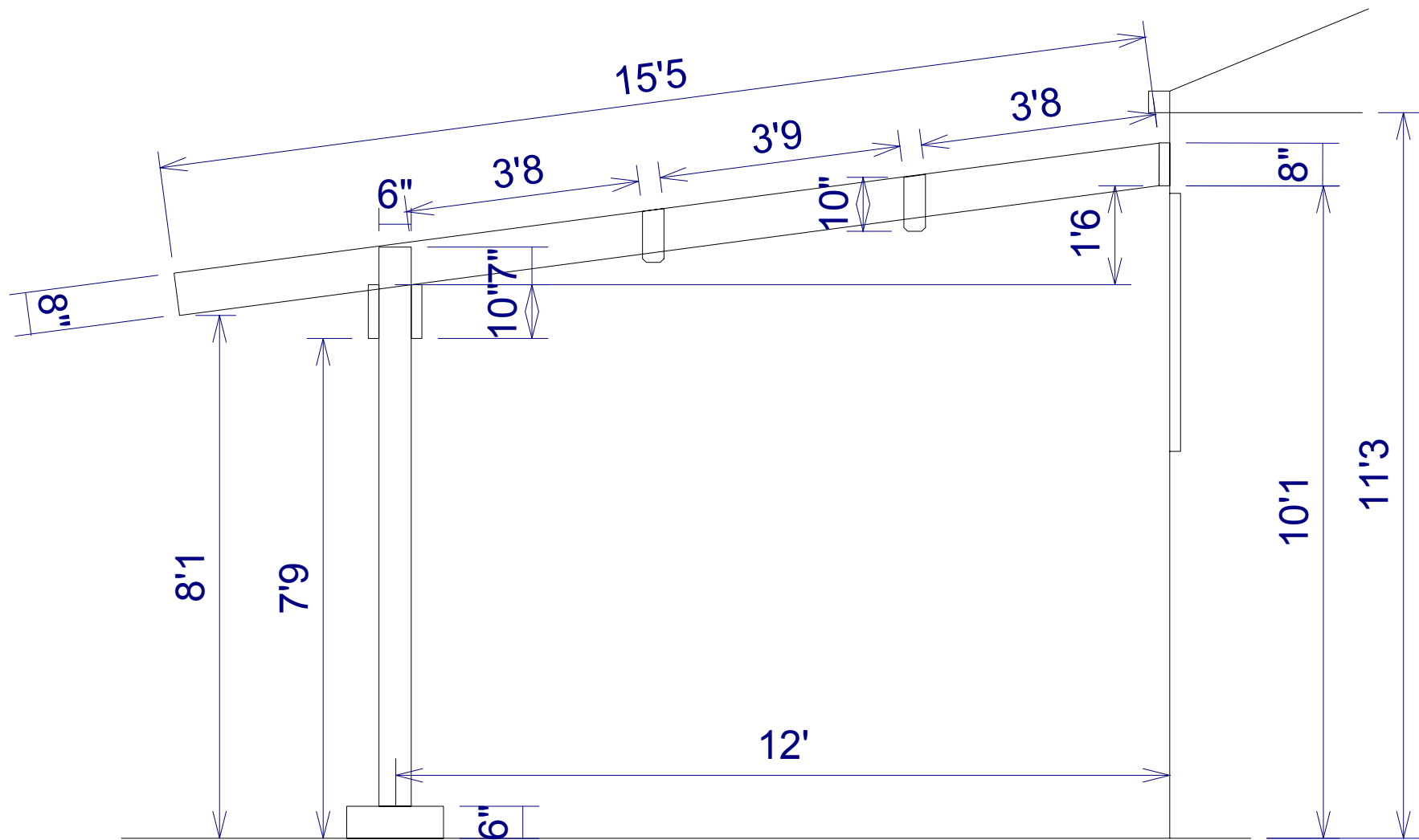


DRAWING 2
Patio Roof Dimensions and Location:
~37' long by 15'6" deep
~42'8" from North (rear) property line
~44'11" from East property line
~15' from West property line

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Patio Roof Dimensions and Location:
~37' long by 15'6" deep
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~44'11" from East property line
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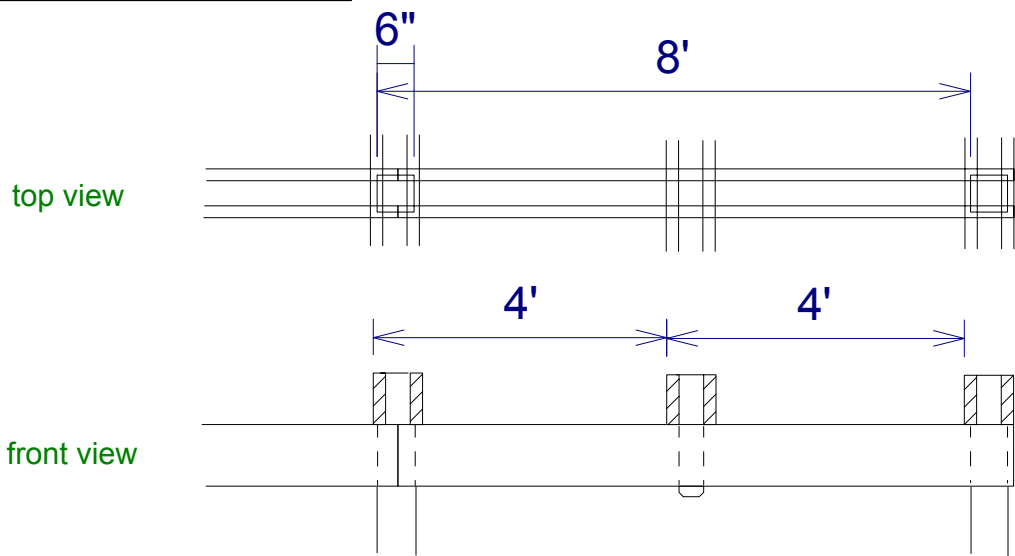


DRAWING 3b
Side View with Dimensions

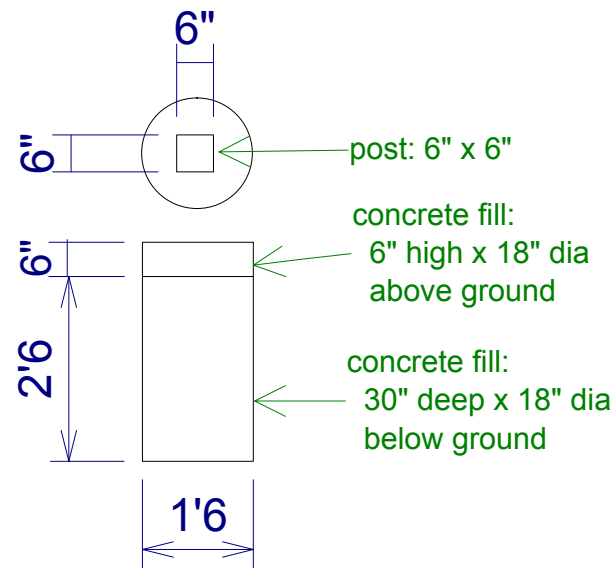


DRAWING 4
Post and Beam Details

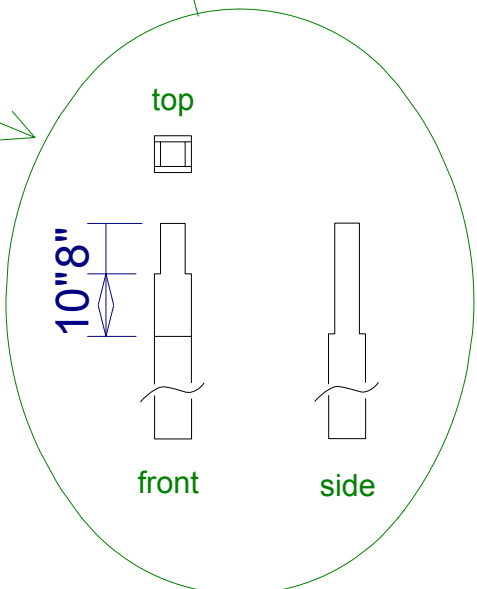
Beam Detail



Post & Hole Detail



Add'l detail of
6x6 posts





kev_scout@hotmail.com

Printed: Sunday, October 23, 2005 2:01 AM

From : Kevin Carroll <kev_scout@hotmail.com>
Sent : Sunday, October 23, 2005 2:01 AM
To : building@springdale.org
CC : kev_scout@hotmail.com
Subject : Permit Application Supplemental Info

Attachment: [PatioRoofPermitApplication-Drawing2.pdf](#) (0.14 MB), [PatioRoofPermitApplication-Drawing3b-SidewDims.pdf](#) (0.02 MB), [PatioRoofPermitApplication-Drawing5-FloorPlan.pdf](#) (0.05 MB), [PatioRoofPermitApplication-Drawing6-LedgerPostBeamDetails.pdf](#) (0.03 MB), [PatioRoofPermitApplication-Drawing7-SuntufPanelDetails.pdf](#) (0.03 MB), [PatioRoofPermitApplication-RoofingMaterialInfo3b.pdf](#) (0.11 MB)

Attention Richard Lohbeck:

Thanks for your review of my permit application. I hope it is okay to email the files versus sending hard copies. I am including PDF attachments again addressing your revision/supplemental information requests...

1. "Submit site plan showing distance to property lines."

This was attached previously as "Drawing 2". I have edited the document with some corrections/clarifications. First, I corrected the misspelling of "North". Second, I added red lines to clarify the beginning and end of the dimension lines. Finally, I changed the color of the dimension text to make it more obvious. Please let me know if it was missing any details.

2. "Submit floor plan showing posts with dimensions."

All posts are 6" x 6" and are 12' from the house on 8' or 10' spacing. The only 4x4s used are the 12" spacers. Both can be seen in "Drawing 3". I have included an additional drawing showing the detailed "floor plan". It is attached as "Drawing 5".

3. "Submit detail showing connection to house."

The top panel of siding under the gutter will be removed. A 2" x 8" ledger/ridge board will be attached in its place using lag bolts. Suntuf Wall Connectors will be used for head flashing at the wall (see "Roofing Material Info 3b"). I have also attached a new drawing from the front showing the ledger/rafter details ("Drawing 6").

4. "Indicate purlin size and spacing per manufacturer's specs."

The mfr's installation instructions show 5/4" x 3" purlins at 36" o.c., but I plan to use alternating 2" x 2" treated furring strips and 2" x 4" upright treated boards at 24" o.c. This will provide additional strength across the double 2x8 rafters, which are 48" o.c. vs the 24" o.c. shown in the mfr's installation instructions. I have created and attached an additional drawing to show this detail. It is "Drawing 7".

Attachment Summary

1. Drawing 2 - Patio roof dimensions and location (revised)
2. Drawing 3b - Side view with dimensions (revised)
3. Drawing 5 - "Floor Plan" (new)
4. Drawing 6 - Ledger, Post, and beam details (new)
5. Drawing 7 - Roofing panel installation details (new)
6. Roofing Material 3b - Suntuf Panels head flashing detail (new)

Please let me know if you require any additional information. Thanks again.

Regards,

Kevin Carroll
658 Cloverdale Ave

City of Springdale

Building Department

DOYLE H. WEBSTER
Mayor

WILLIAM McERLANE
Building Official

CECIL W. OSBORN
City Administrator

October 21, 2005

Mr. Kevin Carrol
658 Cloverdale Avenue
Springdale OH 45246


Re: Permit Application – 658 Cloverdale Avenue, Springdale OH
Request for Revisions

Dear Mr. Carroll:

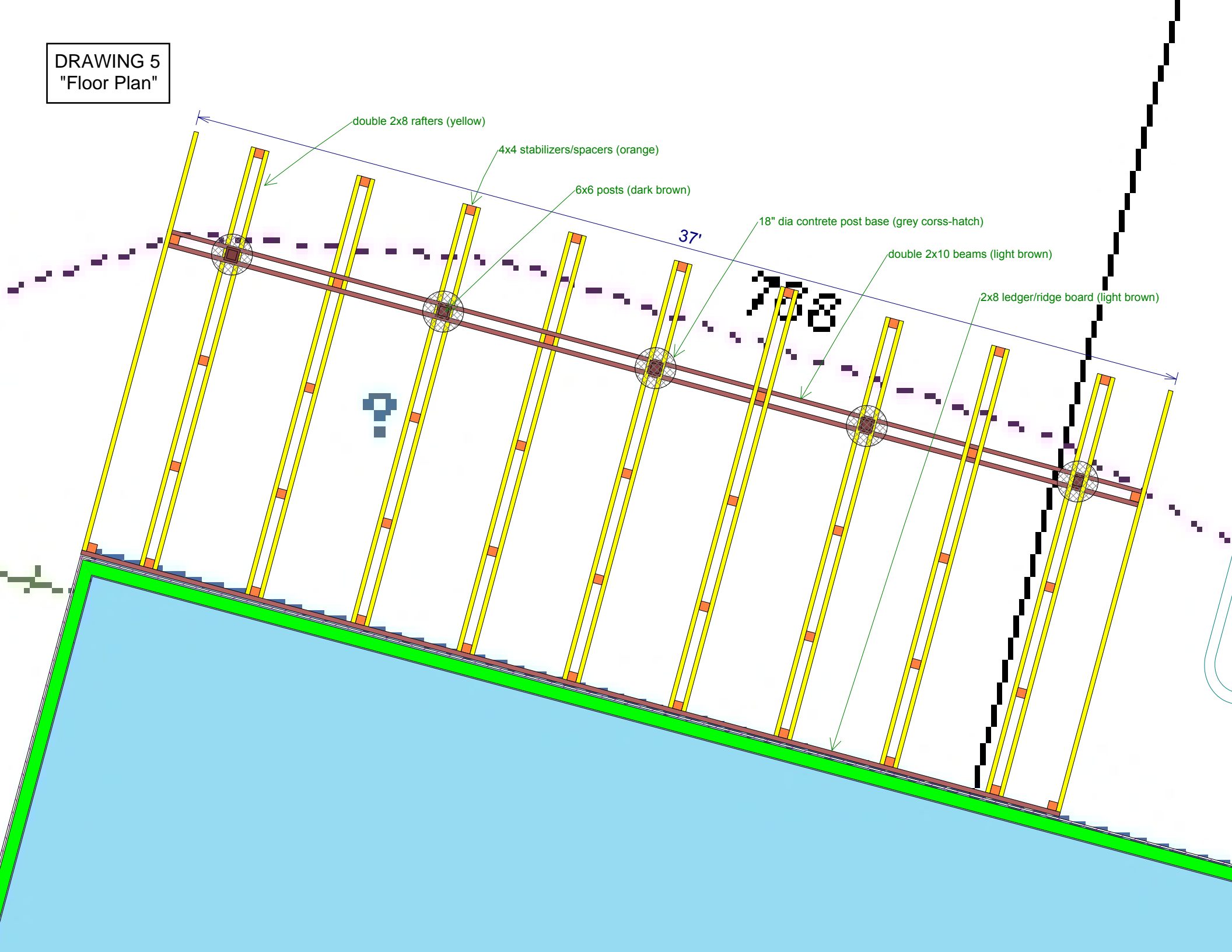
Your application for permit is being withheld pending receipt of the following revisions:

1. Submit site plan showing distance to property lines.
2. Submit floor plan showing posts with dimensions.
3. Submit detail showing connection to house.
4. Indicate purlin size and spacing per manufacturer's specs. (See enclosed sheet).

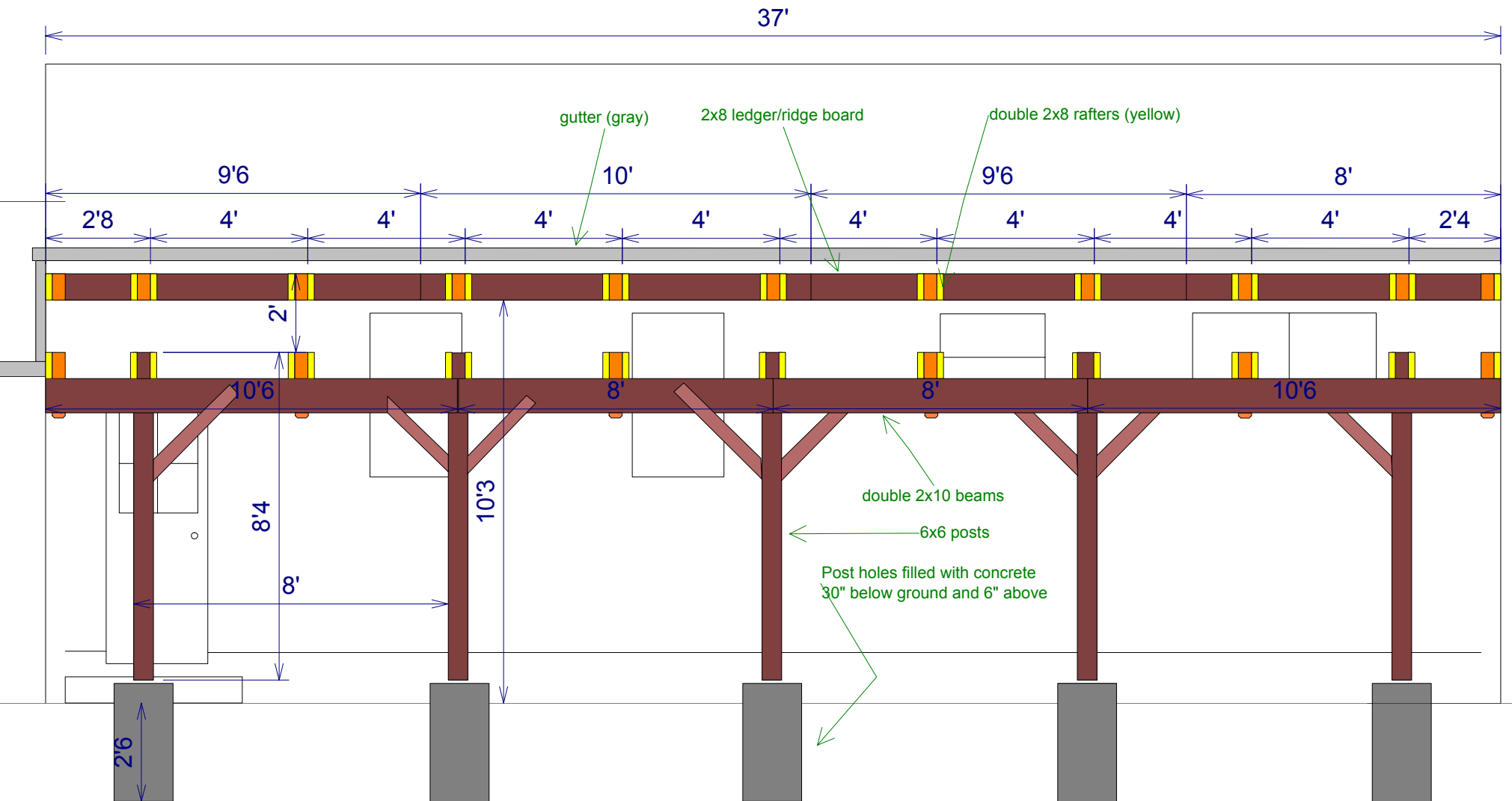
Upon receipt of three copies of revised drawings we will continue processing your application.
If you have any questions please don't hesitate to call.

Sincerely,

Richard G. Lohbeck
Inspections Supervisor

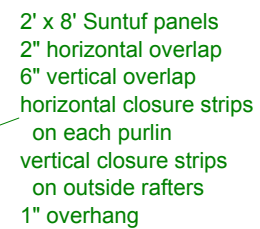
DRAWING 5
"Floor Plan"



DRAWING 6
Ledger, Post, and Beam Details



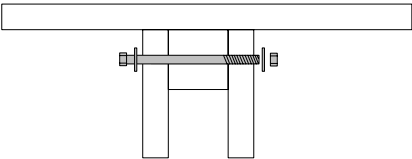
Suntuf Panel Installation Details



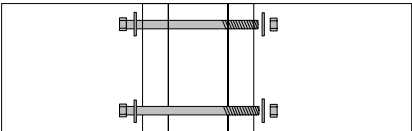
DRAWING 8
Spacer & Rafter to Ledger Details

Rafter to Spacer Detail (2x8 to 4x4)
using 1/2" x 8" machine bolts

Top

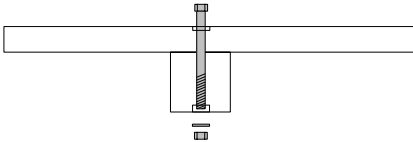


Front

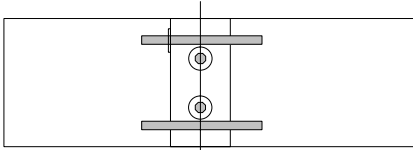


Spacer to Ledger Detail (2x8 to 4x4)
using 1/2" x 5" carriage bolts

Top



Back



Patio Roof - Bill of Materials.xls (Bill of Materials)

		Home Depot		Lowes	
	QTY	Unit Cost	Total Cost	Unit Cost	Total Cost
1 Ledger					
Ledger Boards: 2x8x8	1	\$9.39	\$9.39	\$9.39	\$9.39
Ledger Boards: 2x8x10	3	\$11.97	\$35.91	\$11.97	\$35.91
Spacer Boards: 4x4x10	7	\$11.97	\$83.79	\$11.97	\$83.79
<i>Subtotal</i>			\$129.09		\$129.09
1 Post Bases					
18" diameter tube (at least 5')	1		\$0.00		\$0.00
Concrete Mix: 80 lb bags	44	\$3.08	\$135.52	\$3.08	\$135.52
Fast Setting Concrete Mix: 60lb bags	0	\$3.08	\$0.00	\$3.08	\$0.00
Rebar: 1/2" x 2'	15	\$0.97	\$14.55		
Anchor Bolts: 5/8" x 6"	5	\$2.19	\$10.95	\$2.19	\$10.95
Nuts: 5/8"	5	\$0.25	\$1.25	\$0.25	\$1.25
Post Anchors: 6x6	5	\$13.97	\$69.85	\$15.97	\$79.85
<i>Subtotal</i>			\$232.12		\$227.57
2 Posts					
Posts: 6x6x8	0	\$20.97	\$0.00	\$20.97	\$0.00
Posts: 6x6x10	5	\$27.97	\$139.85		\$0.00
Posts: 6x6x12	0	\$0.00	\$0.00	\$33.97	\$169.85
16d HDG nails	40	\$0.06	\$2.55	\$0.06	\$2.55
<i>Subtotal</i>			\$142.40		\$172.40
2 Beams					
Beams: 2x10x8	4	\$11.97	\$47.88	\$11.97	\$47.88
Beams: 2x10x12	4	\$18.97	\$75.88	\$18.97	\$75.88
<i>Subtotal</i>			\$123.76		\$123.76
4 Rafters					
Rafters: 2x8x16	20	\$18.97	\$379.40	\$18.97	\$379.40
<i>Subtotal</i>			\$379.40		\$379.40
5 Rafter Spacers					
Spacer Boards (none: covered above)	0		\$0.00		\$0.00
<i>Subtotal</i>			\$0.00		\$0.00
6 Purlins and Hardware					
Purlins: 2x2x8	20	\$2.39	\$47.80	\$2.29	\$45.80
Purlins: 2x4x8	25	\$3.49	\$87.25	\$3.49	\$87.25
Purlins: 2x4x10	0	\$5.97	\$0.00	\$5.97	\$0.00
Decking Screws	0		\$0.00		\$0.00
<i>Subtotal</i>			\$135.05		\$133.05
7 Roofing					
Suntuf Panels: 26" x 8' (36)	36	\$16.97	\$610.92	\$15.94	\$573.84
Suntuf Panels: 49.6" x 16' (9)	9		\$0.00		\$0.00
Closure Strips, Vert., Wood: 24" (6pk)	4	\$4.98	\$19.92		
Closure Strips, Hor., Foam: 36"	108	\$1.40	\$150.98	\$1.08	\$117.07
Flashings, Wall Connector: 50"	9		\$0.00		\$0.00
Fasteners, Woodtite: 50 sq ft / box	12	\$5.19	\$62.28	\$5.19	\$62.28
<i>Subtotal</i>			\$844.10		\$753.19

Patio Roof - Bill of Materials.xls (Bill of Materials)

Hardware		Len	Qty Bolts	Nuts	Washers	Cost
	3/8	6	8	92	184	\$14.64
	3/8	8	84			\$163.80
	1/2 C	5	22			\$52.80
	1/2	6	2	53	84	\$5.30
	1/2	8	29			\$86.71
	5/8	8	16	16	32	\$65.28
<i>Subtotal</i>			161	161	300	\$388.53

PROJECT GRAND TOTAL \$2,374.45 \$2,306.99

5/4 x 6 x 10' decking to fix gutter 4 \$6.97 \$27.88

Patio Roof - Bill of Materials.xls (Machine Bolts)

Where	Bolt Type	Countersink?	Length Comments	Dia	Len	Qty	Subtotal	
Ledger	Carriage	Head and Nut	$1.5 + 3.5 = 5$	1/2	5	22	\$52.80	
Beams	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	5/8	8	16	\$65.28	
Diagonal Type 1	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	1/2	8	8	\$23.92	
Diagonal Type 2	Machine	Head and Nut	$1.5 + 5.25 = 6.75$	1/2	6	2	\$5.30	
Diagonal Type 3	Machine	Head and Nut	$1.5 + 5.25 + 1.5 = 8.25$	1/2	8	3	\$8.97	
B/R Spacers	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	3/8	8	12	\$23.40	
Rafters Type 1	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	1/2	8	18	\$53.82	
Rafters Type 2	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	3/8	8	18	\$35.10	
Rafters Type 3	Machine	no	$1.5 + 3.5 + 2/8 + 1/2 = 5.75$	3/8	6	8	\$14.64	
Rafter Spacers 1	Machine	no	$1.5 + 3.5 + 1.5 + 2/8 + 1/2 = 7.25$	3/8	8	54	\$105.30	
						161	\$388.53	
				3/8	6	8	\$14.64	
				3/8	8	84	\$163.80	
				1/2 C	5	22	\$52.80	
				1/2	6	2	\$5.30	
				1/2	8	29	\$86.71	
				5/8	8	16	\$65.28	
						161	\$388.53	
				N	W	6" B	8" B	
				3/8	\$0.17	\$0.15	\$1.36	\$1.48
				1/2	\$0.28	\$0.25	\$1.87	\$2.21
				5/8	\$0.48	\$0.41		\$2.78
			1/2" Carriage	\$1.87	22	\$41.14		
				\$1.68	25	\$42.00		
			Washer	3/8	1/2	5/8		
			Outside Dimension		1 3/8	1 3/4		
			Thickness	1/8	1/8	1/8		

Patio Roof - Bill of Materials.xls (Machine Bolts)

Where	Description	rence (1=low, 5=high)
Ledger	Connect 2x8 Ledger to 4x4	3 bears weight of itself and shares load of roofing
Beams	Connect 2x10 to 6x6	4 shared weight of rafters + shared weight of roofing, but rests on 1" ledge of post
Diagonal Type 1	Connect 4x4 to Beams	2 a little support for squareness, esp in high winds
Diagonal Type 2	Connect one 4x4 to Post	2 a little support for squareness, esp in high winds
Diagonal Type 3	Connect two 4x4s to Post	2 a little support for squareness, esp in high winds
B/R Spacers	Connect 2x10 beam to 4x4 spacer	1 prevent liftoff of rafter and maintain spacing
Rafters Type 1	Connect 2x8 Rafter to 4x4 on ledger	3 bears weight of itself and shares load of roofing
Rafters Type 2	Connect Rafters to Post or B/R Spacer	1 prevent liftoff of rafter and maintain spacing
Rafters Type 3	Connect one Rafter to 4x4	1 prevent liftoff of rafter and maintain spacing
Rafter Spacers 1	Connect 4x4 between rafters	1 keeps rafters straight, may have objects hung from them

City of Springdale

11700 Springfield Pike
Springdale, Ohio 45246

BUILDING PERMIT

THIS PERMIT MUST
BE KEPT ON THE PREMISES

VOID UNLESS WORK
IS STARTED
WITHIN 6 MONTHS

OWNER **Kevin Carroll**
ADDRESS **658 Cloverdale Ave**
Springdale OH 45246-2144

Is Granted a Permit For **RESIDENTIAL** **REROOF** And To Be Used

To construct a 16' patio roof according to approved plans. 658 Cloverdale Avenue

LOT OR HOUSE NO. **0** **658** **Cloverdale Ave**
SPRINGDALE, OHIO
ZONED SECTION **0 P599-Pg** **52 PAR** **103**

ARCHITECT **None**
OR ENGINEER
CONTRACTOR **Owner**

Where electrical equipment or wiring is installed, an application for electrical inspection by the Inspection Bureau Inc. is required in compliance with the Building Code. Approval must be obtained before any wiring is concealed. Separate permits must be obtained for mechanical systems, fire protection systems, signs, elevator conveyor equipment, plumbing and street openings.

All work to be done in compliance with the ordinances pertaining to same and the plans or application, etc. as approved by the Building Department.

EST. COST OF WORK \$3,000.00	PERMIT FEE BBS \$0.00	SQ. FT. GROSS. 0	APPVD RGL	ISSUE RGL
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PERMIT
NUMBER **26439**

DATE **11/7/2005**

Richard Lohbeck

PAID BY: **No Charge**

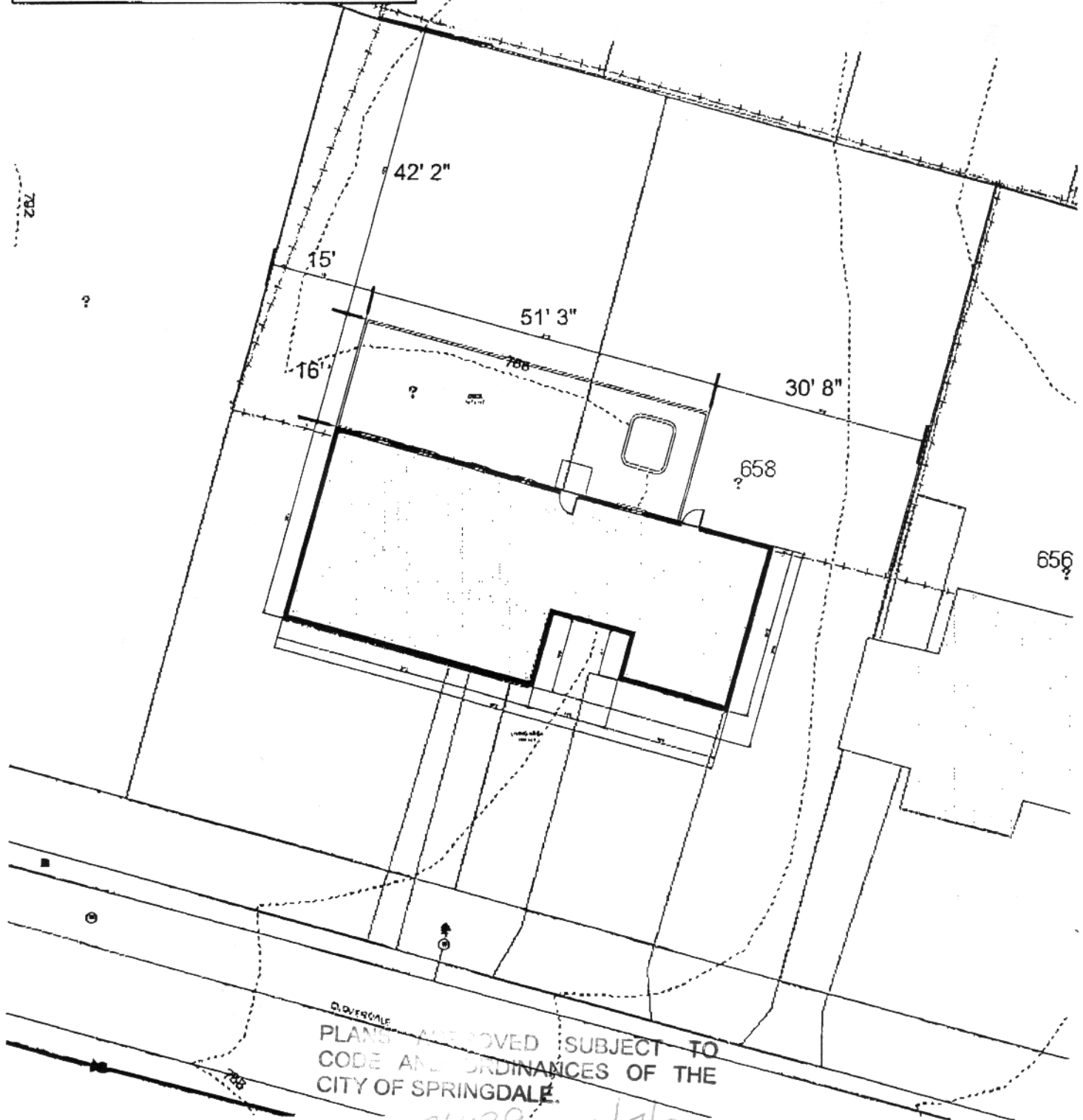
AUTHORIZING SIGNATURE **BUILDING DEP**

DRAWING 2**Patio Roof Dimensions and Location:**

- ~50' long by 16' deep
- ~42' from North (rear) property line
- ~30' from East property line
- ~15' from West property line

II. INSPECTIONS REQUIRED FOR

- ☒ Footings
- ☐ Reinforcing Steel
- ☒ Framing
- ☐ Insulation
- ☒ Final



Permit No. 26439 Date 11/7/05

Richard L. Lohr
BUILDING INSPECTOR